
CITY OF KELOWNA

MEMORANDUM

DATE: May 8, 2008

TO: City Manager

FROM: Planning and Development Services Department

APPLICATION NO. Z08-0038 / OCP08-0009 **OWNER:** Beryl Rackow & Eric Moller

AT: 764 Patterson Avenue **APPLICANT:** Beryl Rackow & Eric Moller

PURPOSE: TO AMEND THE OFFICIAL COMMUNITY PLAN FUTURE
LAND USE DESIGNATION FROM SINGLE/TWO FAMILY TO
LOW DENSITY MULTIPLE UNIT RESIDENTIAL

TO REZONE THE SUBJECT PROPERTY FROM RU6 – TWO
DWELLING HOUSING TO RM1 – FOUR DWELLING
HOUSING IN ORDER TO PERMIT THE CONVERSION OF
THE EXISTING SEMI-DETACHED HOUSING INTO FOUR-
PLEX HOUSING

EXISTING OCP DESIGNATION: SINGLE/TWO UNIT RESIDENTIAL

EXISTING ZONE: RU6 – TWO DWELLING HOUSING

PROPOSED OCP DESIGNATION: MULTIPLE UNIT RESIDENTIAL – LOW DENSITY

PROPOSED ZONE: RM1 – FOUR DWELLING HOUSING

REPORT PREPARED BY: Alec Warrender

1.0 RECOMMENDATION

THAT OCP Bylaw Amendment No. OCP08-0009 to amend Map 19.1 of the *Kelowna 2020* - Official Community Plan Bylaw No. 7600 by changing the Future Land Use designation of Lot D, DL 136 ODYD Plan 4572, located on Patterson Avenue, Kelowna, B.C., from the Single/Two Unit Residential designation to the Multiple Unit Residential - Low Density designation, as shown on Map "A" attached to the report of Planning & Development Services Department, dated May 8, 2008, be considered by Council;

AND THAT Council considers the APC public process to be appropriate consultation for the purpose of Section 879 of the *Local Government Act*, as outlined in the report of the Planning & Development Services Department dated May 8, 2008;

AND THAT Rezoning Application No. Z08-0038 to amend the City of Kelowna Zoning Bylaw No. 8000 by changing the zoning classification of Lot D, DL 136 ODYD Plan 4572, located on Patterson Avenue, Kelowna, B.C. from the RU6 – Two Dwelling Housing zone to the RM1 – Four Dwelling Housing zone be considered by Council;



AND THAT the OCP Bylaw Amendment No. OCP08-0009 bylaw and the zone amending bylaw be forwarded to a Public Hearing for further consideration;

AND THAT final adoption of the zone amending bylaw be considered subsequent to the requirements of the Works & Utilities Department being completed to their satisfaction.

2.0 ADVISORY PLANNING COMMISSION

At a meeting held on May 6, 2008, the APC passed the following motions:

THAT the Advisory Planning Commission support Official Community Plan Amendment Application No. OCP08-0009, for 764-766 Patterson Avenue; Lot D, Plan 4572, Sec. 18, Twp. 26, ODYD by B. Rackow / E. Moller, to amend the OCP Future Land Use from Single/Two Unit Residential to Multiple Unit Residential-Low Density.

THAT the Advisory Planning Commission support Rezoning Application No. Z08-0038, for 764-766 Patterson Avenue; Lot D, Plan 4572, Sec. 18, Twp. 26, ODYD by B. Rackow / E. Moller, to rezone from the RU6-Two Dwelling Housing zone to the RM1-Four Dwelling Housing zone to allow for the conversion of the existing duplex to a four plex.

3.0 SUMMARY

The applicant is requesting approval to amend the Official Community Plan's Future Land Use Designation for the subject property from Single/Two Unit Residential to Multiple Unit Residential – Low Density and to rezone the subject property from RU6 – Two Dwelling Housing to RM1 – Four Dwelling Housing. The Development Permit, which Staff have already issued, for the Duplex will be amended to reflect the proposed four-plex housing. The form and character of the proposed development will remain the same.

3.1 The Proposal

The applicant has applied for a development permit for the proposed semi detached housing. However, as the property could technically accommodate a four-plex the applicant will be going to Council to get this form of development approved. In the meantime they will be continuing with the proposed semi detached development.

The application compares to the requirements of the RM1 zone as follows:

| Zoning Bylaw No. 8000 | | |
|-------------------------|--------------------|-----------------------|
| CRITERIA | PROPOSAL | RM1 ZONE REQUIREMENTS |
| Subdivision Regulations | | |
| Lot Area | 913 m ² | 700 m ² |
| Lot Width | 25.8 m | 20 m |
| Lot Depth | 35.42 m | 30 m |

| Development Regulations | | |
|-----------------------------------|--------------------|--------------------------------|
| Site Coverage (buildings) | 40% | 40% |
| F.A.R | .27 | 0.6 |
| Site Coverage (buildings/parking) | 50% | % |
| Height (existing house) | 9.5 m storey | 9.5 m |
| Front Yard | 4.57 m | 4.5 m or 6.0 m to a garage |
| Side Yard (w) | 3.6 m | 2.5 m (2 storey) |
| Side Yard (east) | 3.6 m | 2.5 m (2 storey) |
| Rear Yard | 14.6 m | 7.5 m (2-storey) |
| Other Requirements | | |
| Parking Stalls (#) | 8 spaces | 8 spaces |
| Private Open Space | Meets requirements | 25 m ² per dwelling |

3.2 Site Map

764 Patterson Avenue



3.3 Site Context

| <i>Direction</i> | <i>Zoning Designation</i> | <i>Land Use</i> |
|------------------|-----------------------------|-----------------|
| North | RU6 – Two Dwelling Housing | Residential |
| East | RU6 – Two Dwelling Housing | Residential |
| South | RU6 – Two Dwelling Housing | Residential |
| West | RM1 – Four Dwelling Housing | Residential |

4.0 CURRENT DEVELOPMENT POLICY

Staff recommends that the APC public process should be considered appropriate consultation for the purpose of Section 879 of the *Local Government Act*, and that the process is sufficiently early and does not need to be further ongoing in this case. Furthermore, additional consultation with the Regional District of Central Okanagan is not required in this case.

Staff have reviewed this application and it may move forward without affecting either the City's financial plan or waste management plan.

OCP07-0018

The subject property is designated as Single / Two Unit Residential in the OCP and as such the proposed use of this site would not be in compliance. The OCP supports the sensitive infill of increased density in all areas of the City. The OCP also provides for the potential to increase the density where there is an affordable housing component. This building would not represent a significant change to the neighbourhood and it may provide a more affordable form of housing. The applicant has also agreed to provide \$10,000 cash-in-lieu of affordable housing.

5.0 CIRCULATION COMMENTS

5.1 Inspections Services No concerns.

5.2 Works & Utilities See Attached.

6.0 PLANNING AND DEVELOPMENT SERVICES COMMENTS

The project is reasonable in that it maximizes the building frontage facing Patterson Avenue, while hiding the on-site parking behind the building. While this area is currently envisaged as a Single / Two Unit Residential area there is some precedent in the immediate neighbourhood for the development and conversion of four-plex housing units. The subject property would be suitable for the RM1 – Four Dwelling Housing zone.

Securing affordable housing units in exchange for an OCP amendment from the Single / Two Unit Residential to the Multiple Unit Residential – Low Density for an RM1 (four unit) development can be difficult. In this case the applicant has agreed to contribute cash-in-lieu (\$10,000) of the required affordable housing contribution based on previous applications

supported by Council. It is on this premise that Staff are forwarding the proposed OCP amendment with a positive recommendation.



Shelley Gambacort
Current Planning Supervisor

Attachments

- Location Map
- Site plan
- Floor plans
- Elevations
- Landscape plan

CITY OF KELOWNA

MEMORANDUM

Date: April 9, 2008
File No.: Z08-0038
To: Planning & Development Services Department (AW)
From: Development Engineering Manager (SM)
Subject: 764 Patterson Ave. Lot D Plan 4572 4 Rental Units RM-1

The Works & Utilities Department have the following comments and requirements associated with this application to rezone from RU-6 to RM-1. The road and utility upgrading requirements outlined in this report will be a requirement of this development. The Development Engineering Technologist for this project is Derek Corning E.I.T.

1. Domestic Water and Fire Protection

- (a) The proposed development site is serviced with a 13mm diameter water service. The developer must engage a consulting mechanical engineer to determine the domestic and fire flow requirements of this development, a larger service will be required. Only one water service is permitted. Unused services must be removed at the applicant's cost. All service upgrades can be performed by the City at the applicant's cost.
- (b) A water meter is mandatory for this development and must be installed inside the building on the water service inlet as required by the City Plumbing Regulation and Water Regulation bylaws. The developer or building contractor must purchase the meter from the City at the time of application for a building permit from the Inspection Services Department, and prepare the meter setter at his cost. Boulevard landscaping, complete with underground irrigation system, must be integrated with the on-site irrigation system.
- (c) The developer must obtain the necessary permits and have all existing utility services disconnected prior to removing or demolishing the existing structures. The City of Kelowna water meter contractor must salvage existing water meters, prior to building demolition. If water meters are not salvaged, the developer will be invoiced for the meters.

2. Sanitary Sewer

The 100mm-diameter sanitary sewer service should be adequate for the proposed application. An inspection chamber (IC), complete with brooks box, must be installed on the service at the owner's cost as required by the sewer-use bylaw.
The applicant will be required to sign a Third Party Work Order for the cost of installing the (IC) with brooks box, prior to issuance of a Building Permit.

3. Road Improvements

The applicant is responsible to upgrade Patterson Avenue to a paved urban collector standard (SS-R4). The construction consists of curb, gutter and sidewalk, fillet paving, storm drainage works, removal and/or relocation of utilities as may be required, etc. The City wishes to defer the upgrades to Patterson Avenue fronting this development. Therefore, cash-in-lieu of immediate construction is required. The cash-in-lieu amount is determined to be **\$ 13,161.00**

4. Electric Power and Telecommunication Services

It is the developer's responsibility to make a servicing application with the respective electric power, telephone and cable transmission companies to arrange for these services which would be at the applicant's cost.

5. Access, Manoeuvrability and Parking Requirements

- (a) A minimum of eight off-street vehicle parking spaces are required.
- (b) Direct the roof drains into on-site rock pits. This will help dissipate the roof drain water and prevent additional concentrated flows onto the rear lane.

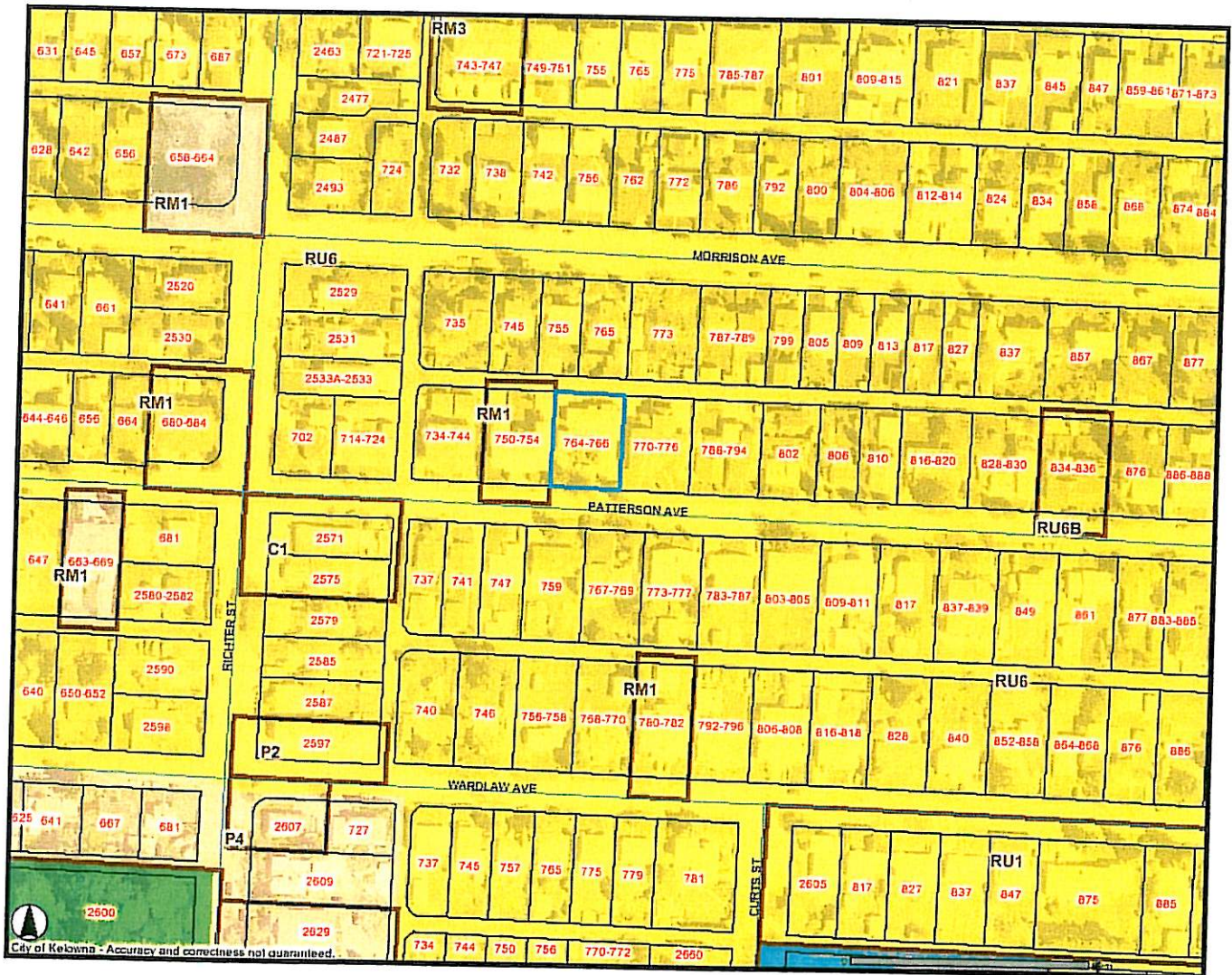
6. Bonding and Levy Summary

(a) Levies

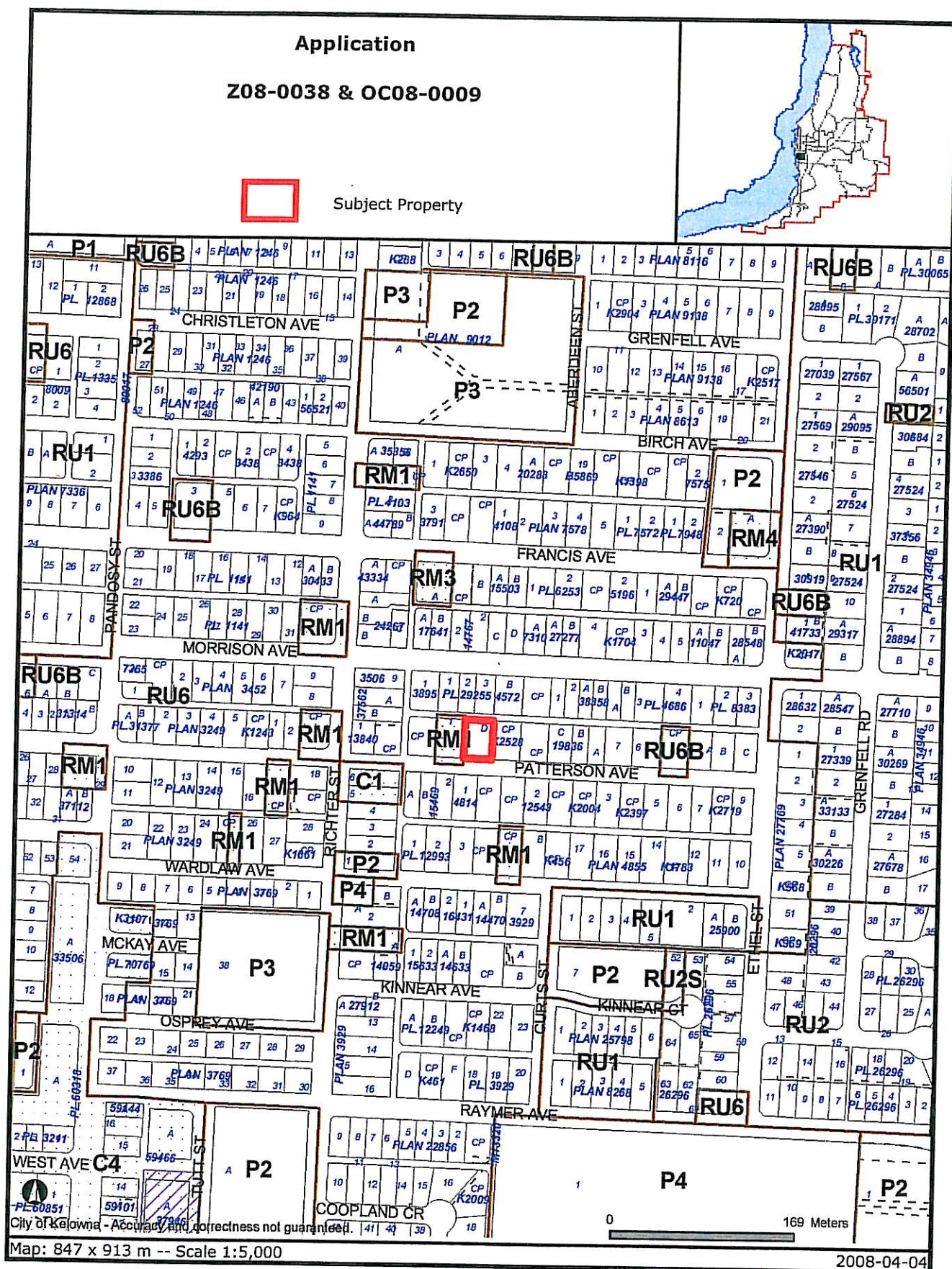
| | |
|---|---------------------|
| Patterson Avenue Frontage improvements | |
| One-time cash payment for future urban upgrading. | \$ 13,161.00 |

Steve Muenz, P. Eng.
Development Engineering Manager
DC

MAP "A"



Subject Property to have Future Land Use designation changed from "SINGLE/TWO UNIT RESIDENTIAL" to "MULTIPLE UNIT RESIDENTIAL – LOW DENSITY"



Certain layers such as lots, zoning and dp areas are updated bi-weekly. This map is for general information only.
The City of Kelowna does not guarantee its accuracy. All information should be verified.

GENERAL NOTES

CECS AND STANDARDS

All workmanship is to be of a standard equal to or better than that specified in the following standards:
 All the time of preparation, the plan and other documents shall be kept in the office of the architect or engineer.
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 All the time of preparation, the plan and other documents shall be kept in the office of the architect or engineer.

CONCRETE AND REINFORCEMENT

Concrete shall be of a minimum compressive strength of 2000 PSI (138 MPa) at 28 days.
 Concrete shall be of a minimum compressive strength of 2000 PSI (138 MPa) at 28 days.
 Concrete shall be of a minimum compressive strength of 2000 PSI (138 MPa) at 28 days.

ADDITIONAL NOTES

At least one (1) inch (25 mm) of concrete shall be placed over the reinforcement.
 At least one (1) inch (25 mm) of concrete shall be placed over the reinforcement.
 At least one (1) inch (25 mm) of concrete shall be placed over the reinforcement.

CARPENTRY

Carpenry shall be of a minimum quality of 2000 PSI (138 MPa) at 28 days.
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ISOLATION / VENTILATION

Isolation shall be of a minimum quality of 2000 PSI (138 MPa) at 28 days.
 Isolation shall be of a minimum quality of 2000 PSI (138 MPa) at 28 days.
 Isolation shall be of a minimum quality of 2000 PSI (138 MPa) at 28 days.

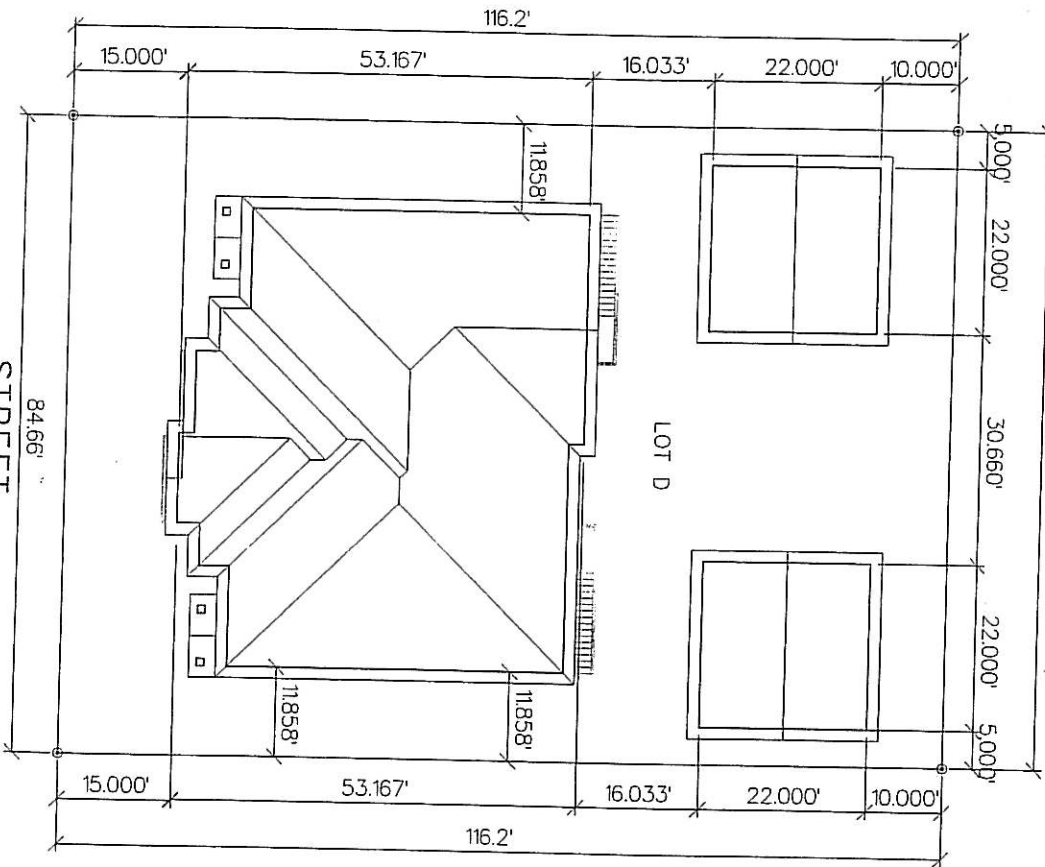
DETAILS

Details shall be of a minimum quality of 2000 PSI (138 MPa) at 28 days.
 Details shall be of a minimum quality of 2000 PSI (138 MPa) at 28 days.
 Details shall be of a minimum quality of 2000 PSI (138 MPa) at 28 days.

SITE PLAN

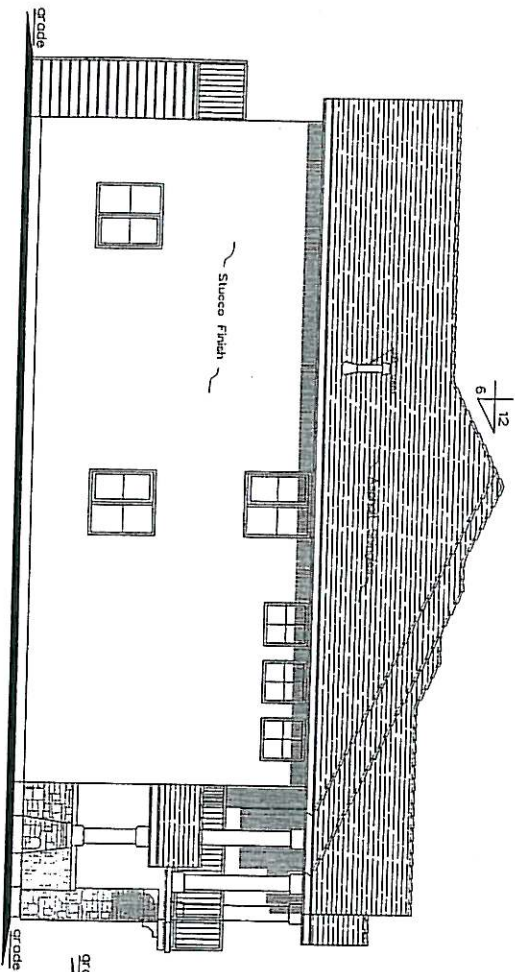
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STREET



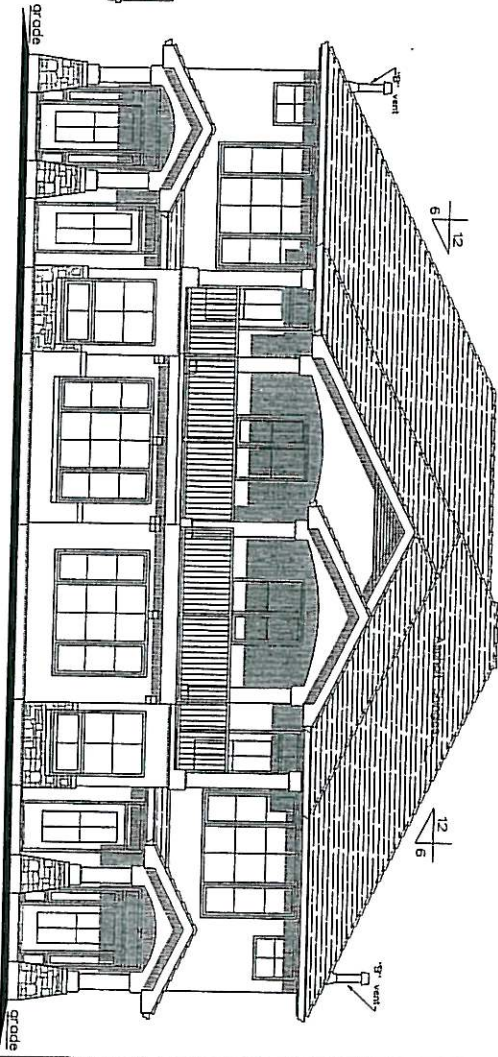
OWNER OR CONTRACTOR
 TO COMPLETE SITE PLAN
 AND LEGAL DESCRIPTION

DESIGNER
 ADDRESS
 PHONE
 FAX
 E-MAIL



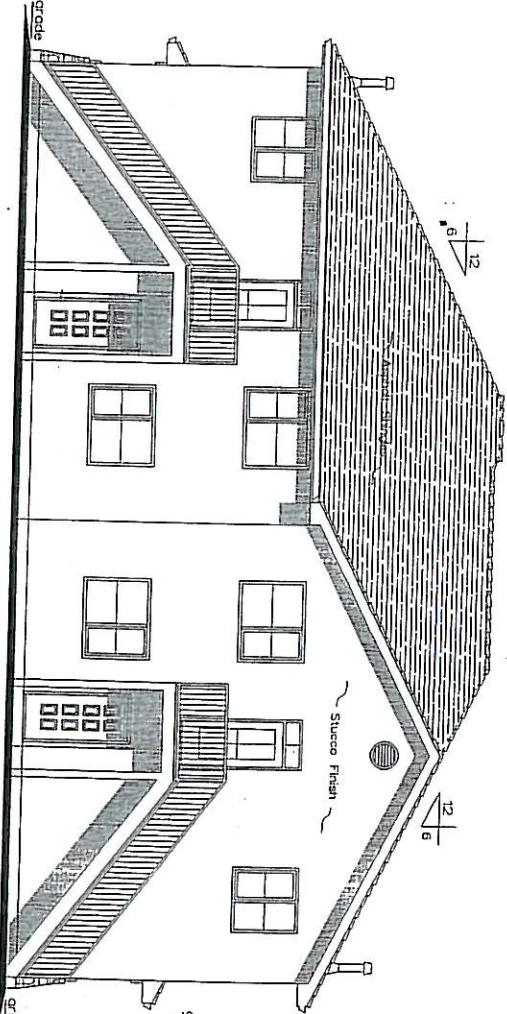
LEFT ELEVATION

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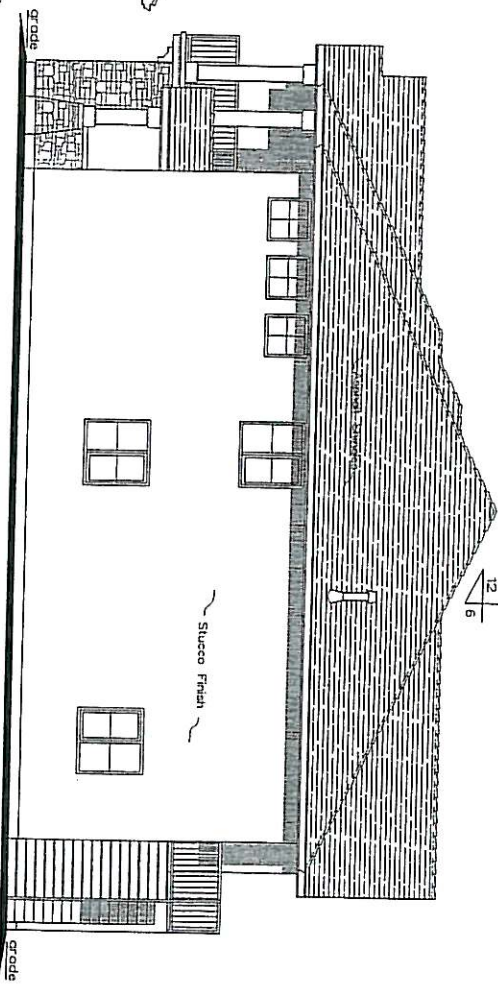
FRONT ELEVATION

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REAR ELEVATION

scale = 1/4" = 1' 0"



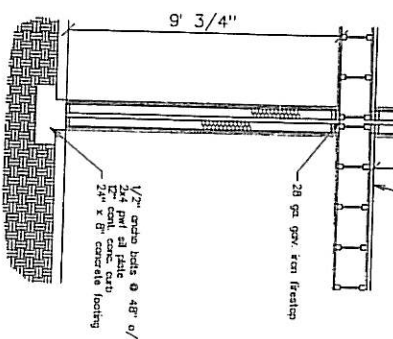
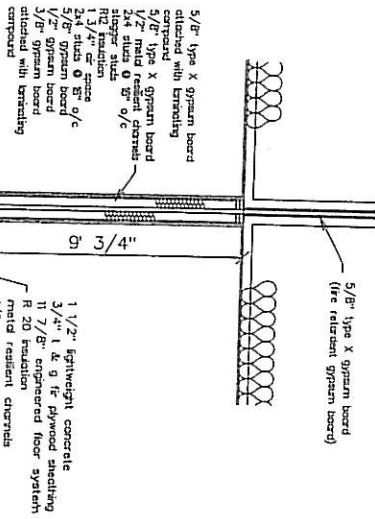
RIGHT ELEVATION

scale = 1/4" = 1' 0"

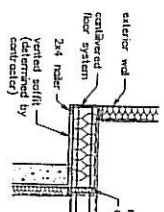
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|------------------------|-------------|
| Designs by DUBA | |
| DATE: APR 2000 | ADDRESS: |
| DESIGNER: WES DUBA | CONSULTANT: |
| SCALE: AS NOTED | |
| REVISIONS: | |



PARTY WALL DETAIL
Scale: 1/2" = 10'

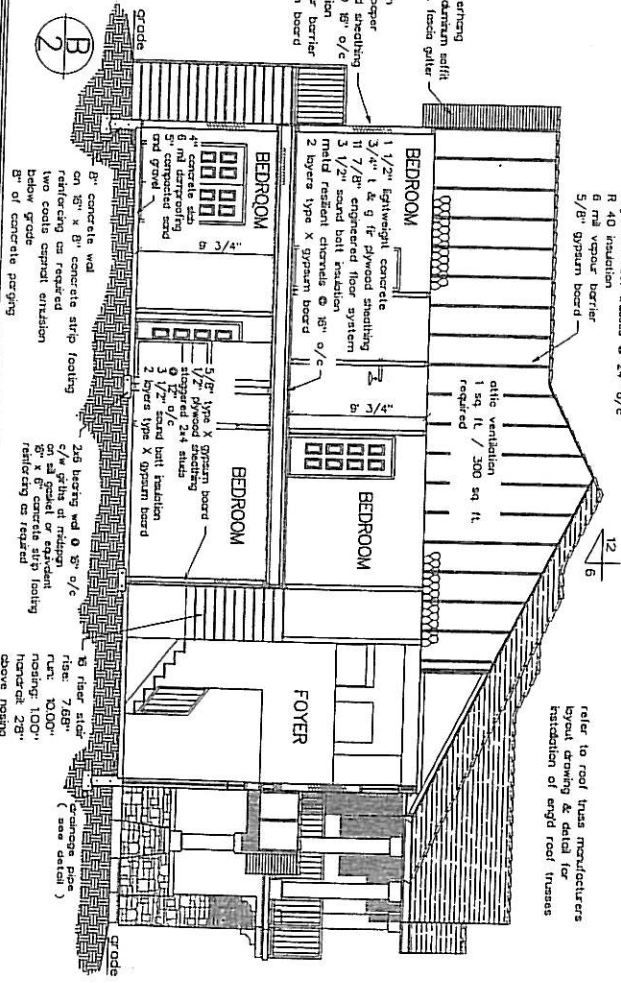


CANTILEVER DETAIL
Scale: 1/2" = 10'

CROSS SECTION

Scale = 1/4" = 1' 0"

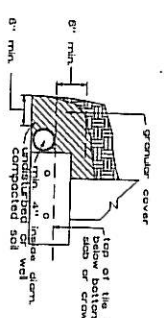
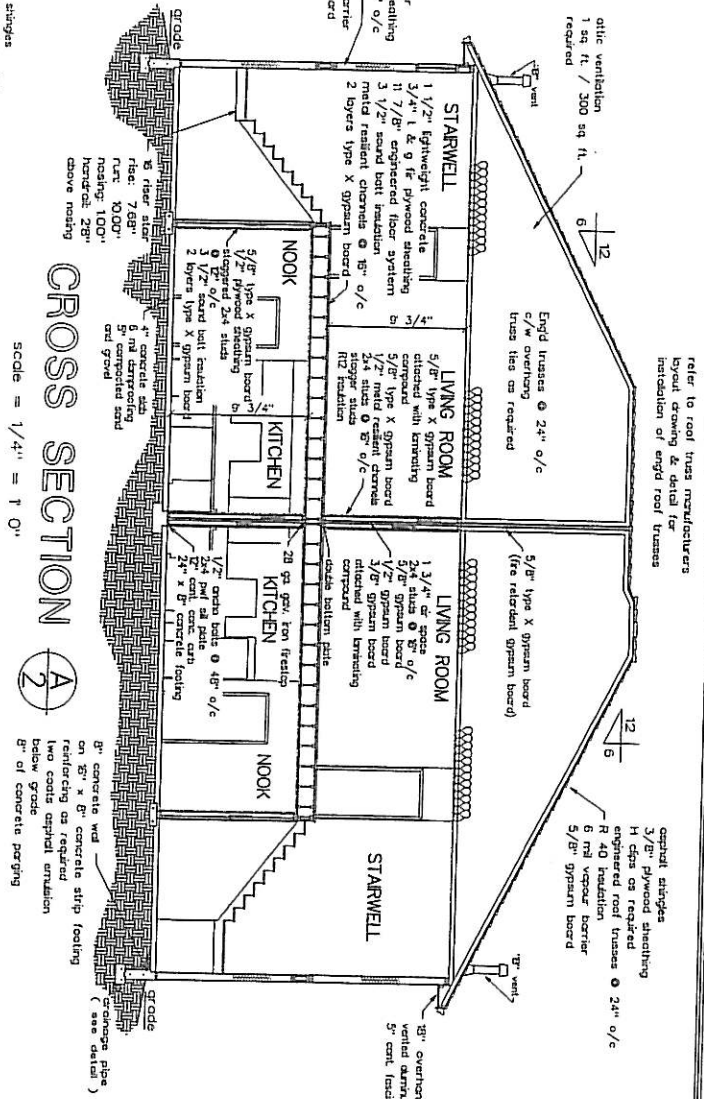
(B)



CROSS SECTION

Scale = 1/4" = 1' 0"

(A)



Drainage Tile and Pipe
Scale: 1" = 10'

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DUBAI
DESIGN & ARCHITECTURE

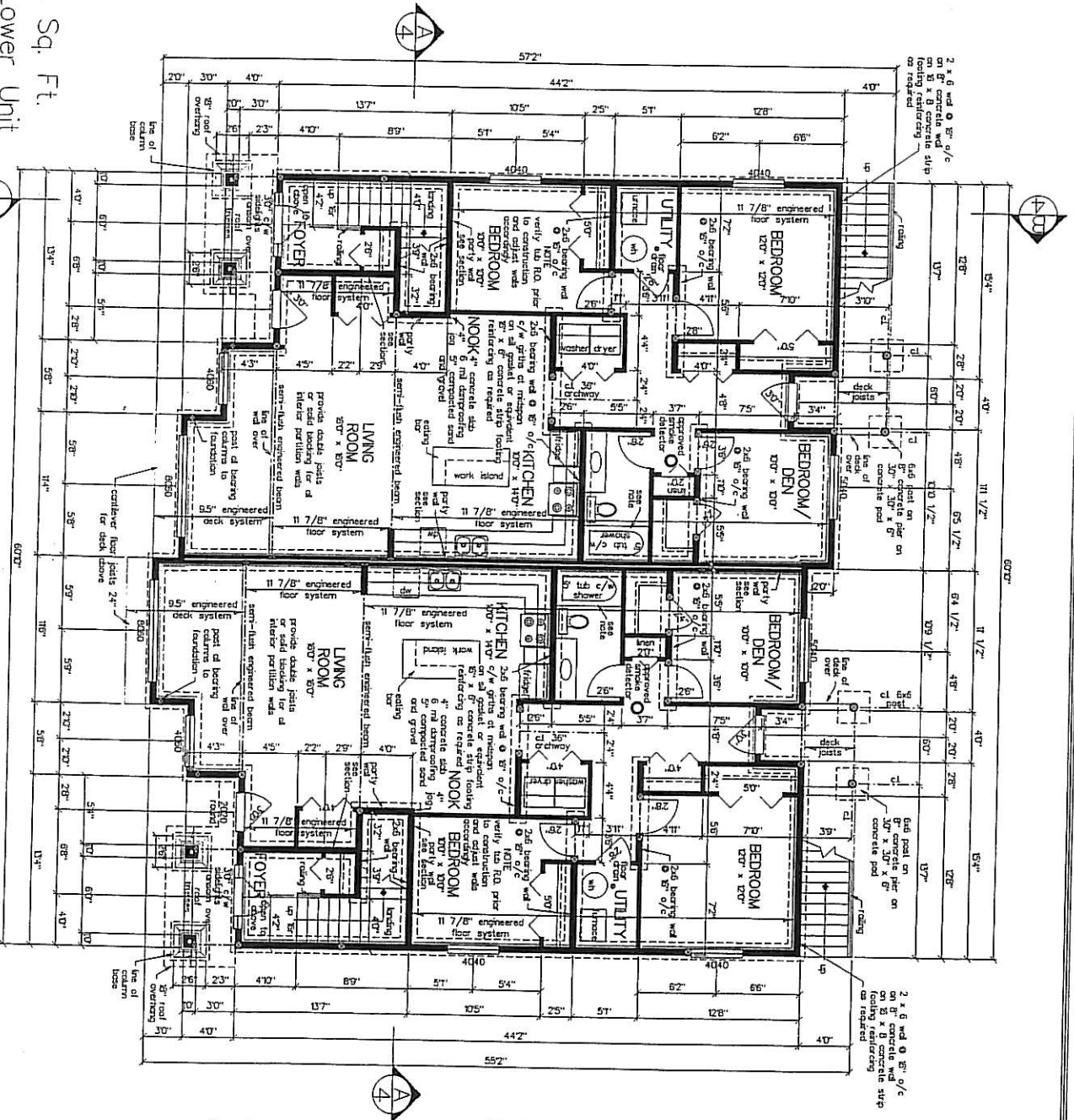
DESIGNER: CROSS SECTION
DATE: APR. 2008
DRAWN BY: MRS. NINA
SCALE: AS NOTED
REVISIONS

ADDRESS:
4 of 5

34 Upper Unit Sq. Ft.
1324 Sq. Ft. Lower Unit

FOUNDATION PLAN

scale = 1/4" = 1' 0"



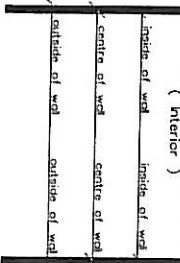
NOTE

All inlets in exterior and bearing walls to be 2x6s unless otherwise specified. All inlets in exterior walls to have a minimum vent area of 2 1/4" x 10" (19 sq. in. per M 2). All bearing columns of girders, trusses and support beams are to be posted to foundation.

When entrance door to have a door viewer window or sidelight. Sidelights or windows with 36" of bearing door must be solidly glass or solid blocking at lock height on both sides of door for two solid spaces (except where dead bolt lock). If door with 1" throw lugs secured to door with 1" screws and to frame with 3" screws into solid blocking. Sliding doors to be fastened with 3" screws into solid blocking. Sliding doors must have pin type locking mechanism with a 3/8" throw.

All joints in vapor barrier to be lapped 4" and occur over framing members or added with 4" lapped through vapor barrier for when described boxes, piping, ducts, etc., and be sealed. 5/8" plates to be pressure treated or separated moisture resistant material. Moisture resistant material is required around boilers or shower where ceramics and plastic tile is installed.

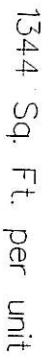
DIMENSION FORMAT



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| | |
|----------------------------------|------------------------|
| DESIGNER: DESIGNS BY DUDA | ADDRESS: |
| DRAWN BY: DAVID DUDA | DATE: 05/01/04 |
| CHECKED BY: DAVID DUDA | SCALE: AS NOTED |
| REVISIONS: | COMMENTS: |

$$\text{scale} = 1/4'' = 1/0''$$


At least in exterior and bearing walls to be 2x10s unless otherwise specified

All bedroom windows to have a minimum vent size of 24" x 36" for egress

Ground snow load of 40 PSF (19 kN per M 2)

All bearing columns of girders (trusses and support beams are to be posted to foundation

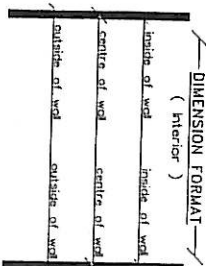
When entrance door to home a door window
Screen or alidlight
A locking door must be solidly glass or
wired glass
At exterior or entrance doors, regular
solid blocking of lock height on both sides
of door must be used (except where
sliding doors with two slides (except where
Dead bolt locks with T throw
Hinges secured to door with 3" screws
or frame with 3" screws into solid blocking
Sliding doors must have pin type locking
mechanism with a 3/8" throw

AI parts in vapor barrier to be bonded 4" and occur over framing members or sealed with caulking.

AI notes through vapor barrier for wires electrical boxes, piping, ducts, etc., shall be sealed.

SI plates to be pressure treated or separated by dry-coupling material.

Moisture resistant barrier is required around foundation or shower where ceramics and plastic tile is installed.



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designs by
TOUTKA

| | |
|---------------------|--------------|
| DATE: APR 2009 | ADDRESS: |
| DRAWN BY: WFS OUTKA | |
| REF. NO.: 2822 | |
| SCALE: AS NOTED | CONSULTANTS: |
| REVISIONS: | |

SCHEDULE " "

This forms part of development
Permit # DP07-0301

The following finishes are proposed for the Principal and Secondary Dwellings:

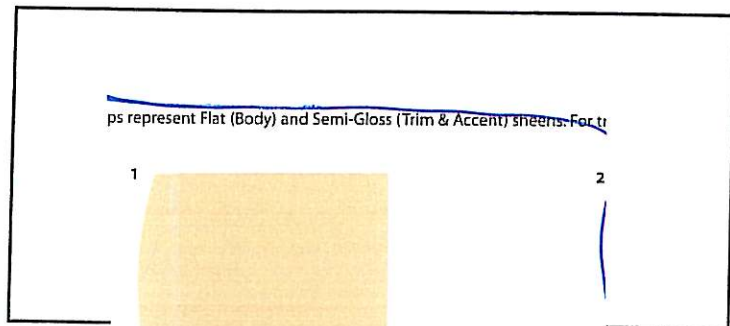
Roofing Material:
Colour:



Woodland Blend

Main Body:

Material:
Colour:



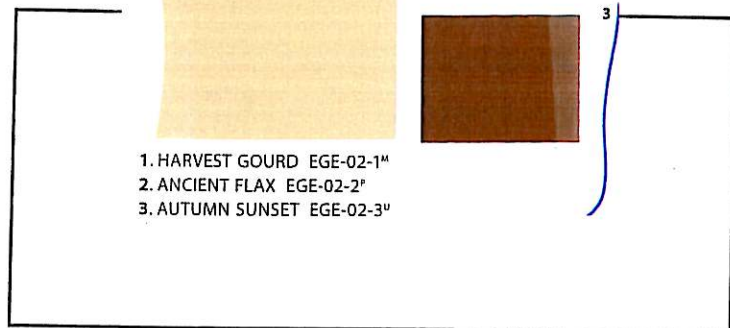
ps represent Flat (Body) and Semi-Gloss (Trim & Accent) sheens. For tr

1

2

Second Colour/Accent Colour:
(If applicable):

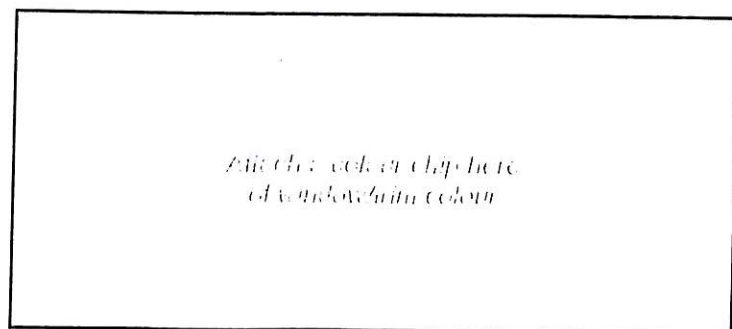
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Colour:



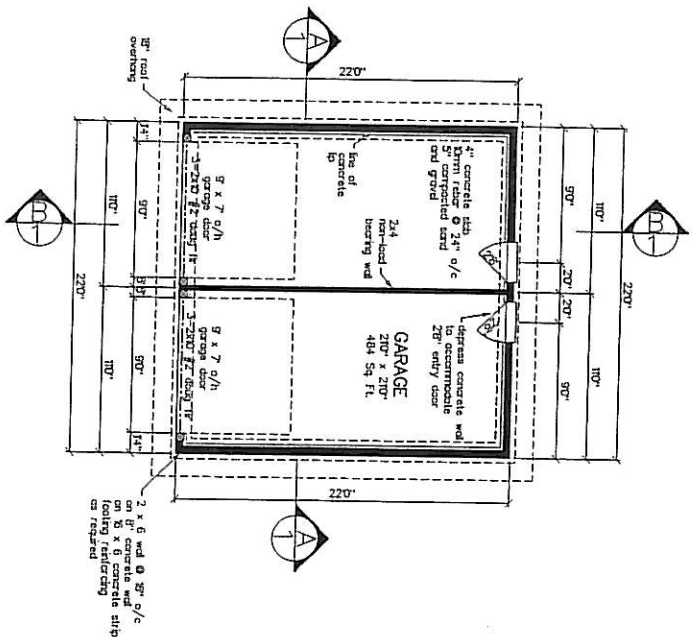
- 1. HARVEST GOURD EGE-02-1"
- 2. ANCIENT FLAX EGE-02-2"
- 3. AUTUMN SUNSET EGE-02-3"

Window/Door/Trim Colour:

Material:
Colour:



After the work is complete
of a window/trim colour

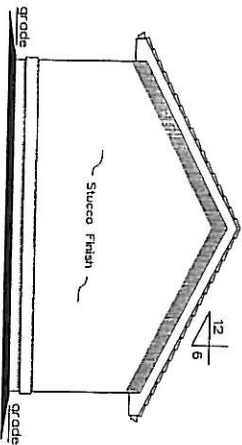


MAIN FLOOR PLAN

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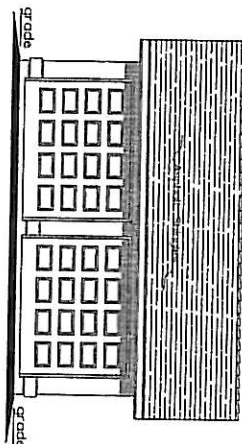
RIGHT ELEVATION

scale = 1/4" = 1' 0"



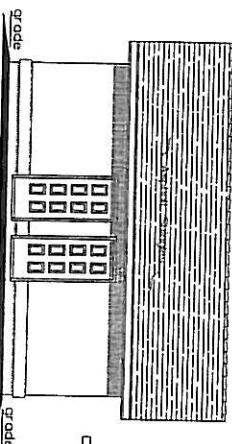
FRONT ELEVATION

scale = 1/4" = 1' 0"



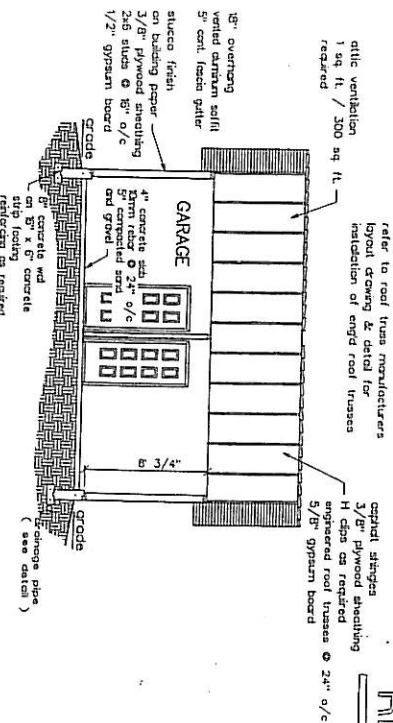
LEFT ELEVATION

scale = 1/4" = 1' 0"



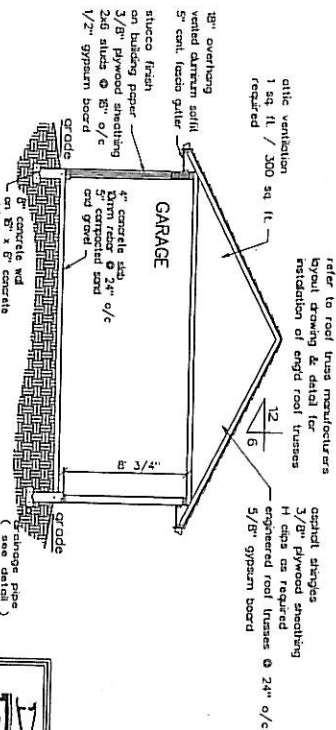
REAR ELEVATION

scale = 1/4" = 1' 0"



CROSS SECTION A

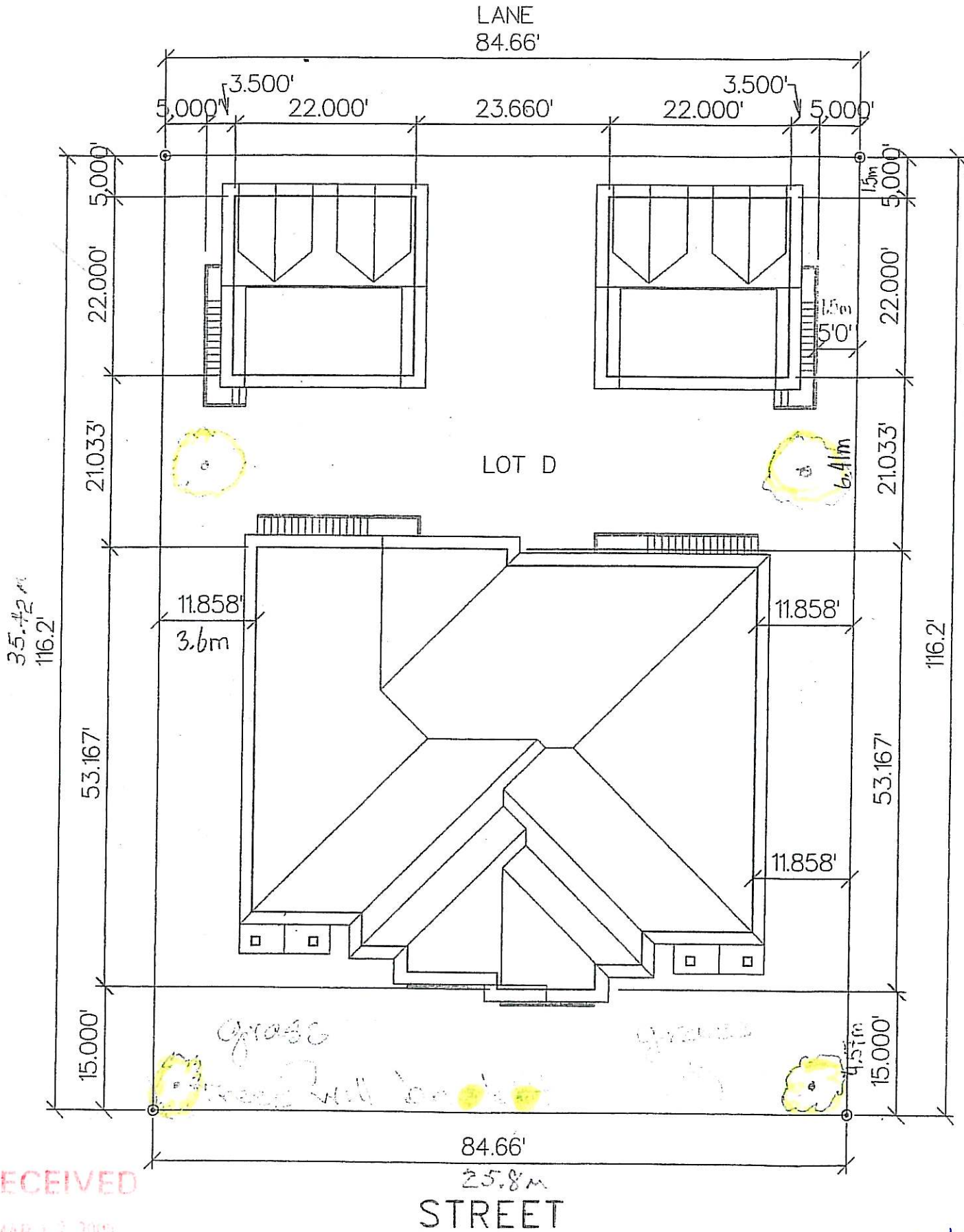
scale = 1/4" = 1' 0"



CROSS SECTION B

scale = 1/4" = 1' 0"

Land Scape



RECEIVED

SITE PLAN

Revised. 13/03/08